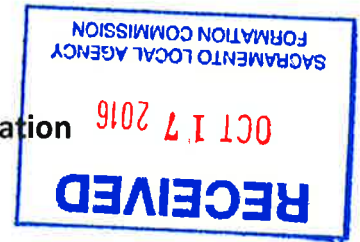


**Bilby Ridge Sphere of Influence Amendment Application
Project Narrative**



The Bilby Ridge Sphere of Influence Amendment (Application Area) requests Sacramento County Local Agency Formation (LAFCo) approval to amend the City of Elk Grove's Sphere of Influence to include approximately 480 acres adjacent to the City's southern boundary. The Application Area is directly south of Bilby Road and north of the planned Kammerer Road extension between Bruceville Road and Willard Parkway. Including this Application Area into the City's Sphere of Influence would create a logical boundary for the City.

In early 2015 the City of Elk Grove (City) issued a Notice of Preparation of the Environmental Impact Report/Environment Assessment to extend Kammerer Road from State Route 99 (SR 99) and Interstate 5 (I-5). This extension will provide a critical transportation connection for the City of Elk Grove as well as the greater Sacramento region.

To provide a complete application and aid in the EIR process, the applicant has prepared a preliminary land use map outlining a possible land use scenario for the amendment area. Although there are no changes to land use proposed as part of this SOI Amendment Application, the following offers a possible land use scenario from which potential environmental impacts can be projected and analyzed. The applicant understands and recognizes that the City will be the ultimate land use authority and will conduct subsequent public planning processes to determine the solutions for their continuing needs for housing opportunities and expanding population.

Based on the surrounding areas current zoning, the applicant mirrored the surrounding land uses and applied them to the attached preliminary land use scenario map. The attached preliminary land use scenario map outlines a zoning and holding capacity for:

- Commercial elements on the corner of Bilby and Bruceville Road as well as Kammerer Road and Willard Parkway;
- A residential component (ranging around 1,800 units) implementing a broad array of housing types complementary to the needs of the employment component and the Elk Grove community;
- Accompanying parks to serve the residential and surrounding areas;
- Supporting master-planned infrastructure providing transportation, public lands and associated retail land use; and
- A business professional area on the corner of Kammerer and Bruceville Road to feed off of the adjacent commercial and professional designations.